

**ELKHORN RANCH
HOMEOWNERS ASSOCIATION, INC.**

**RESIDENTIAL IMPROVEMENT
GUIDELINES FOR ALL LOTS**

**Revised and Approved
August 2010**

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1. INTRODUCTION.

- 1.01 **Basis for Guidelines.** These Residential Improvement Guidelines are intended to assist homeowners living in the Elkhorn Ranch Community in implementing landscaping and other home improvements to their property. The Declaration of Covenants, Conditions and Restrictions of Elkhorn Ranch Homeowners Association, Inc., requires prior approval from the Board of Directors before the construction, installation, erection, or alteration of any structure, attachment to any structure, or landscaping of any lot in Elkhorn Ranch shall be made. For instance, any change to existing landscaping, new landscaping, or change to the final grade of property; the construction or installation of any accessory building, patio, deck, pool, or hot tub; the demolition or removal of any building or other improvement including changing paint colors must be submitted for prior approval. This booklet contains the guidelines established by the Board of Directors with respect to residential property.
- 1.02 **Contents of Guidelines.** In addition to the introductory material, these Guidelines contain (A) a listing of specific types of improvements that homeowners might wish to make with specific information as to each of these types of improvements; (B) a summary of procedures for obtaining approval from the Architectural Review Committee; (C) Some helpful landscaping ideas and information.
- 1.03 **Architectural Review Committee.** The Architectural Review Committee (ARC) consists of three (3) members, all of who are appointed by the Board of Directors of the Association and are to review requests for architectural approval.
- 1.04 **Committee Address and Phone.** The address of the Committee will be same as the address of the Association or Management Company.

COMPANY NAME	OFFICE	FACSIMILE	E-MAIL
PCMS 7208 S. Tucson Way Suite 125 Centennial, CO 80112	303-224-0004	303-224-0002	designreview@pcms.net

- 1.05 **Effect of Community and Supplemental Declarations.** The Declaration of Covenants, Conditions and Restrictions for the homeowners association is a document governing property within Elkhorn Ranch. Particular areas or groups of lots become part of the Community Association by annexation pursuant to a document entitled Annexation of Additional Land. Copies of the Declaration including amendments are delivered to new home buyers when they purchase their homes and are available at any time from the Association. Each homeowner should review and become familiar with the Declaration including amendments. Nothing in these Guidelines can supersede or alter the provisions or requirements of the Declaration and, if there is any conflict or inconsistency, the Declaration as amended will control.
- 1.06 **Effect of Governmental and Other Regulations.** Use of property and any improvements must comply with applicable building codes and other governmental requirements and regulations. **Approval by the Committee will not constitute assurance that improvements comply with applicable governmental requirements or regulations or that a permit or approvals are not also required from applicable governmental bodies.**

- 1.07 **Interference with Utilities.** In making improvements to property, homeowners are responsible for locating all water, sewer, gas, electrical, cable television, or other utility lines or easements. Homeowners should not construct any improvements over such easements without the consent of the utility involved and homeowners will be responsible for damage to any utility lines. It is unlawful to commence work without first obtaining a utility locate. All underground utility lines and easements can be located by contacting:

Utility Notification Center of Colorado
1-800-922-1987

- 1.08 **Goal of Guidelines.** Compliance with these Guidelines and the provisions of the Declaration of Covenants, Conditions, and Restrictions of Elkhorn Ranch Homeowners Association, Inc., as amended, will help preserve the inherent architectural and aesthetic quality of Elkhorn Ranch. It is important that the improvements to property be made in harmony with and not detrimental to the rest of the community. A spirit of cooperation with the Architectural Review Committee and neighbors will go far in creating an optimum environment, which benefits all homeowners. By following these Guidelines and obtaining prior written approval for improvements to property from the Committee, homeowners will help insure that improvements to property are compatible with established standards and guidelines for Elkhorn Ranch. If a question ever arises as to the correct interpretation of any terms, phrases or language contained in these guidelines, the Architectural Review Committee interpretation thereof shall be final and binding.
- 1.09 **Completion of Landscaping.** Minimum landscaping requirements (as defined in section 2.41) must be completed no later than nine (9) months from issuance of the Certificate of Occupancy. Additional landscaping beyond minimum requirements in your plan must be complete within 24 months of plan approval. **See Landscaping Section 2.41**

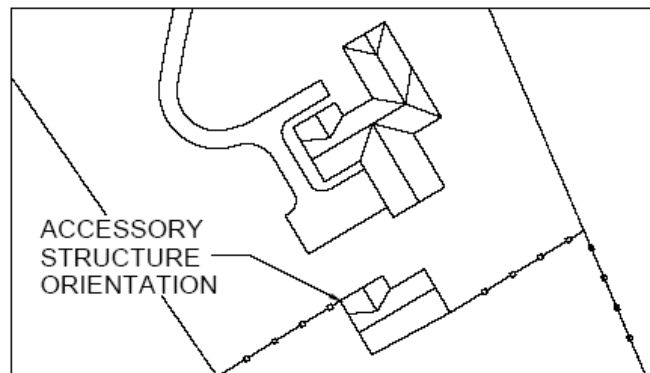
2. SPECIFIC TYPES OF IMPROVEMENTS-GUIDELINES.

- 2.01 **General.** The following is a listing, in alphabetical order, of a wide variety of specific types of improvements which homeowners typically consider installing, with pertinent information as to each. **Unless otherwise specifically stated, drawings or plans for a proposed improvement must be submitted to the Architectural Review Committee (ARC) for approval. Submission to the Architectural Review Committee (ARC) is made by sending two copies to the property management company.** (See section 3 for instructions) **Written approval of the Committee is required prior to the improvements being started. The decision of the ARC shall be made within sixty (60) days after receipt by the committee of all required materials, unless such time period is extended by mutual agreement. (Refer to Section 3.8 of the Elkhorn Ranch Protective Covenants).** Where it is specifically so noted in the guidelines, a homeowner may proceed with the improvements without advance approval if the homeowner follows the stated guideline. Where specifically stated, some types of improvements are prohibited. If you have in mind an improvement not listed below, architecture review and approval is required.
- 2.02 **Accessory Buildings.** Only one accessory structure is permitted per lot. Storage sheds and loafing sheds will not be permitted, but potting sheds and playhouses are allowed. (Refer to Section 2.64, 2.53, and 2.64 a) The ARC will review all accessory structure submittals with the Architect to determine compliance with the guidelines. Accessory structures are defined as an additional building not attached to the home.

Orientation - Any accessory structure/barn must be oriented to reflect the main house. Accessory structures and barns must be placed no further than 100 feet from the rear or side of the house, and they must share as much of the main driveway access as possible. Accessory structure garage doors must be located to most easily access the main driveway and reduce hard surface paving.

Location - The location of accessory structures or barns cannot negatively impact the views of the adjacent property owners. No accessory structure will be approved that is not located according to the recorded envelope, easements and setbacks for the lot. For submission requirements see 3.02. **Refer to Section 2.15 Building Orientation and See the Accessory Structure diagram below.**

ACCESSORY STRUCTURE DIAGRAM



Size and Height - The maximum size of any wood or metal accessory structure is 2,400 SF and the minimum size is 500 SF. This square footage amount includes first and second stories. Two-story accessory structures must limit the size of the second story to

be subservient in relation to the first floor of the building (see wood barn examples below). This standard keeps two-story accessory structures from becoming large enough to dwarf the main house. The overall height of the accessory structure must be less than the height of the main house.

Any additions or expansions to an accessory structure must comply with all of the following guidelines and restrictions:

1. Wood Structures – There are two approved options for architectural styles of wood accessory structures at Elkhorn Ranch. Large expanses of wall plane, without windows are not permitted on either option.

A. **Option 1** - Wood accessory structures must utilize the same architecture as the house. These structures must use the exact same wall, trim, masonry, roofing, garage doors, window materials, and the roof pitches must match the house as well. All colors for this option must match the color scheme of the home and images of the house must be submitted to determine architecture and color compliance.

B. **Option 2** - Wood accessory structures must be designed to look like traditional barn architecture and/or match one of the three options shown below. The barn design should match traditional barn styles and materials such as: gabled roofs, frame construction, hinged ventilation systems, cupolas, roof overhangs and extensions, board and batten siding, shingle siding, etc. The exterior colors and materials must be submitted for approval.

Examples of quality wood accessory structures are shown below.





2. Metal Structures - The ARC with the approval of the Elkhorn Ranch Board of Directors has moved to disallow metal accessory structures, barns and sheds in Elkhorn Ranch effective October 1, 2008. For all homeowners purchasing lots in the community after October 1, 2008, metal structures will not be approved under any circumstances for your property.

The ARC does recognize that previously dated guidelines allowed metal structures as a follow-up to the development being marketed as horse-friendly property. Therefore, homeowners who purchased their property prior to September 30, 2008, will be held under the Metal Barn Grandfather Rule. This rule allows homeowners who purchased their home prior to September 30, 2008, to have a metal structure on their property in accordance with the regulations listed below. The Metal Barn Grandfather Rule is not transferable when the property is sold or transferred and proof of certificate of occupancy dated prior to September 30, 2008, must be submitted with the request to determine if the Grandfather Rule will apply.

Metal Barn Grandfather Rule - If you fall under the Metal Barn Grandfather Rule, metal accessory structures or barns will be considered on a case-by-case basis and must pass not only through the HOA Management Company (PCMS) and the Architect, but also

through the ARC committee for approval. The structure will be reviewed to determine if it meets the minimum standards for wood structures. (i.e. the architecture MUST match or have design detailing elements that compliment the main structure). Large expanses of wall plane, without windows are not permitted.

An example of a quality metal accessory structure is shown below.



- 2.03 **Additions and Expansions.** Approval is required. Additions or expansions to the house /living unit will require submission of detailed plans and specifications. Any additions must keep within the scale of the overall house layout. All additions must be of the same architectural style and color as that of the existing house/living unit residence. All siding, trim, windows, masonry, etc. must exactly match the exterior materials on the house. Additions and expansions to homes must meet all of the design guideline standards as applicable, specifically the standards for custom home architecture. (Refer to Section 2.08) The homeowner is responsible for obtaining all applicable permits from the County. Additions and expansions may not exceed 50% of the original square footage of the home (excluding basements)
- 2.04 **Address Numbers.** Approval is required to replace or relocate existing address numbers.
- 2.05 **Advertising.** All trade signs, which include, but are not limited to, landscaping, painting, and roofing, may only be displayed while work is in progress and must be removed upon completion of the job. (Realty signs, etc.) **See Signs Section 2.67.**
- 2.06 **Air Conditioning Equipment.** No heating, air conditioning, air movement (e.g. swamp coolers) or refrigeration equipment shall be placed or installed on rooftops or extended from windows. Ground mounted or exterior wall air conditioning equipment located in the side yard must be installed in a manner to minimize visibility and be screened with approved plant materials.
- 2.07 **Antennae.** Antennas are permitted; the Owner of the property where the antenna is being installed must notify the Association in writing using an Architectural Request Form. The Association has adopted the following rules, regulations and restrictions for the installation and maintenance of exterior antennas in the community in compliance with the FCC Rule, which became effective October 4, 1996:
- A. Notification
 - 1. Before installation of any:
 - a) DBS (direct broadcast satellite)
 - b) MMDS (multi-channel multi-point distribution service wireless cable) antenna

c) Television (TBS) antenna

B. Antenna Location

1. The primary installation location for a DBS satellite dish and MMDS antenna shall be in a location on the back eaves of the house that is shielded from view of the street(s) and adjacent residences, provided such location does not preclude reception of an acceptable quality signal.

2.08 **Custom Home Architecture (Residence).** Also refer to Section 2.15 – Building Orientation and Height Restrictions.

Square Footages: Minimum Ranch square footage – 1,900 SF
Minimum 2-Story square footage – 2,150 SF

Wall Materials: Use natural appearing materials as much as possible. Stone, stucco, stained cedar, brick and textured block are encouraged. Homes must have brick or stone accents at a minimum of (50) fifty square feet or as required by the committee, on the front elevation. Metal walls are not permitted.

Roof Materials: Provide a variety of roof planes to break up long ridge-lines. Throughout the community, roofs should use a variety of colors to break up their impact on the background. Standing seam metal roofs and corrugated metal roofs will not be permitted.

Colors: All colors must be submitted for approval prior to application. Houses should be painted in a variety of subtle, muted colors to provide individuality and distinction. Bright accent or trim colors may not cover more than 10% of any elevation. Adjacent houses may not be painted the same colors. The homeowners that apply paint first to their home receive precedent over neighboring home paint colors, regardless of the paint color approval date.

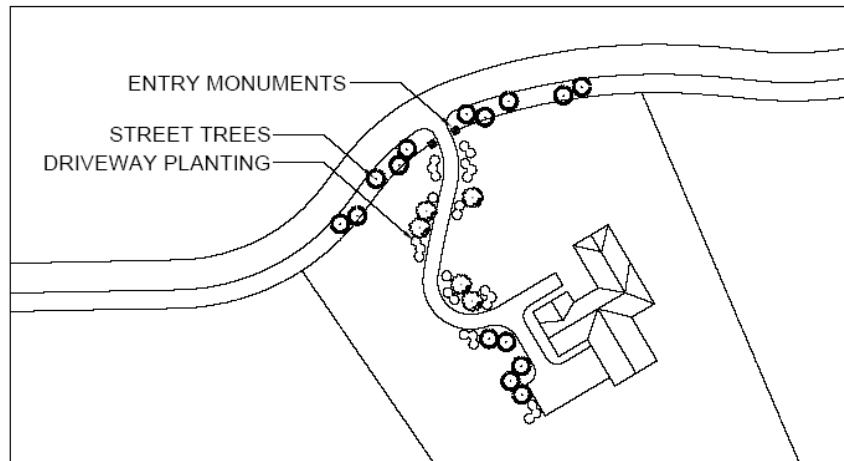
Garages: For custom homes, rear and side loaded garages are required. Side loaded garages should have their doors on the side of the house that angles away from the road.

Covered Entries: Each house must have an entry at least (8) eight feet in width and (5) five feet in depth. Wherever possible, these porches should emphasize the view.

Site Entry and Monuments: The entry into each home site is very important. Views from the entrance should focus on the most attractive area of the house. Driveway entry monuments are encouraged, but they shall not be higher than (6) six feet. Overhead entry structures are not allowed. **See Section 2.28 for entrance monument examples**

Driveways: Curvilinear and sweeping driveways are encouraged on all lots, but they are required on custom home lots. All driveway curves must comply with the minimum turning radius requirements for the Rattlesnake Fire Department. Lining driveways with ornamental trees or shrubs is also encouraged, and low wattage landscape lights may be used to light driveways. These light fixtures should be small and conservative in design as described in Section 2.43. (Monuments, fencing, lighting and plants may not encroach into roadway easements). **See Site Entry and Driveway diagram below.**

SITE ENTRY AND DRIVEWAY DIAGRAM



- 2.09 **Awnings. See Overhangs/Awnings- Cloth or Canvas.**
- 2.10 **Balconies.** All vertical elements (columns, railings, trim, etc.) and roofing materials on balconies must be constructed of the same materials and colors as the house. Composite decking products may be utilized for the balcony flooring. **See Decks.**
- 2.11 **Barbeque/Gas Grills.** All barbeque grills, smokers, etc must be maintained in the rear yard or within an enclosed structure, not visible from the front of the home.
- 2.12 **Basketball Backboards.** No basketball backboards shall be attached to the garage. Only portable or removable pole mounted basketball backboards shall be allowed. Portable backboards do not require approval if the following guidelines are met: 1) portable units cannot be placed in the public right of ways 2) location must be in the driveway near the garage or rear yard. This location constitutes proper placement and the unit must be kept in this location or stored out of sight.
- Removable pole mounted backboards do not require approval if they comply with the following: the backboard must be clear and the pole must be a black or galvanized steel pole. Pole mounted basketball backboards must be installed along the driveway near the garage or in the rear yard.
- 2.13 **Birdbaths.** Approval is not required if placed in the “rear” yard and if finished height is not greater than five (5) feet including any pedestal. **See Statutes, Fountains, Yard Ornaments Section 2.72 for possible placement in front or side yards.**
- 2.14 **Birdhouses and Bird Feeders.** Approval is not required if installed in the rear yard and the size is limited to one foot by two feet. No more than three in number shall be installed on any lot. A birdhouse or bird feeder, which is mounted on a pole, may not exceed six (6) feet in height.
- 2.15 **Building Orientation and Height Restrictions.** For custom home architectural submittals, homeowners must submit a copy of the recorded plot plan for their lot. Plot plans can be obtained from Elbert County at no cost. All no build zones must be illustrated on the plan. Plan submittals that do not include a copy of the recorded plot plan will be returned without being reviewed.

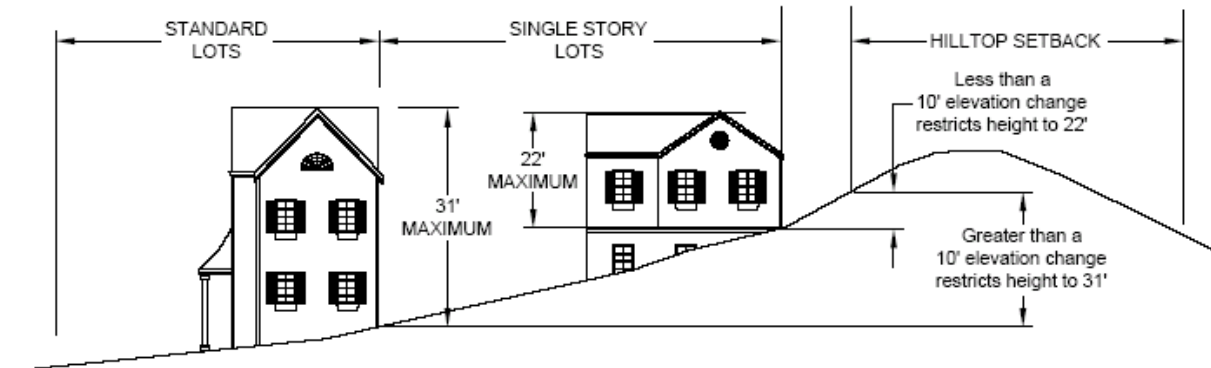
Envelopes: All structures must be located in the designated building envelope and within all established setbacks for the lot. No homes or accessory structures will be approved that are not located within the recorded envelope, easements and setbacks as shown on the submitted plot plan. Refer to the Elbert County building and zoning department for these regulations. A summary of the County setback standards has been listed below. It is imperative to verify any jurisdictional codes, as they are prone to changes and updates.

Part II, Section 6: RA-1 Residential Agriculture-One Standards:

Yard	Setback
Front Yard Setback (measured from the road ROW easement, or at a point of minimum lot width, whichever is greater)	100 feet
Side Yard Setback	25 feet
Rear Yard Setback	25 feet

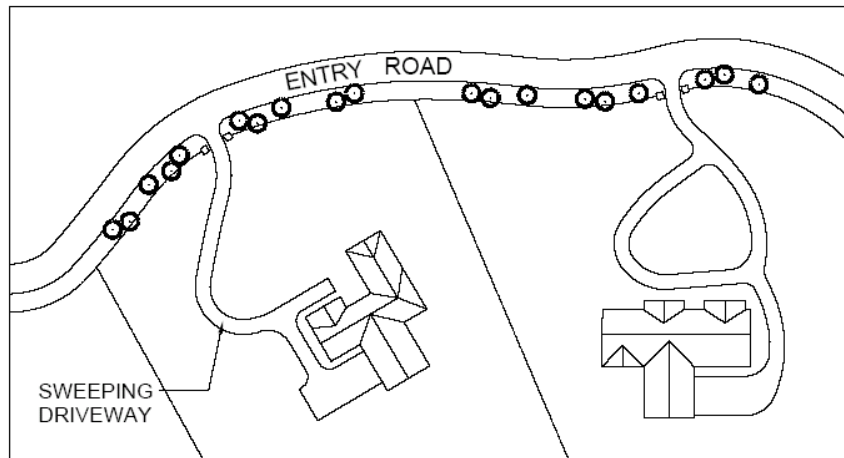
Hilltop Setbacks: Ridge-breaks, no-build zones and hilltop setbacks have been designated on the recorded plot plans. In order to preserve the rural character of the land and views, there will be no structures allowed in these areas. The recorded plot plans must be submitted in order to determine if a hilltop setback exists on a lot.

Height Restrictions: All homes built with any portion of their footprint less than a (10) ten-foot elevation change from the hilltop setback boundary elevation will have a height restriction of (22) twenty-two feet at the Front Entry. The elevation change should be determined along the shortest straight line to the hilltop setback boundary. Any home with it's entire footprint at an elevation that is more than (10) ten-feet lower than the hilltop setback elevation (as determined along the shortest straight line to the hilltop setback) will have a height restriction of (31) thirty-one feet at the Front Entry. In other words, all two-story homes are restricted to (31) thirty-one feet in height at the Front Entrance. **Refer to the Height Restriction diagram below.**



Building Orientation: Buildings must be placed to provide a sense of entry from the road and should be oriented to take advantage of open space views. Buildings should not always be parallel with road and the entry and orientation of structures is discretionary except that no structure should back to the street frontage. Curvilinear or sweeping driveways are required on all custom home lots, see Section 2.08 and 2.25. **Refer to the diagram below for examples of building orientation and sweeping driveways.**

BUILDING ORIENTATION / DRIVEWAY DIAGRAM



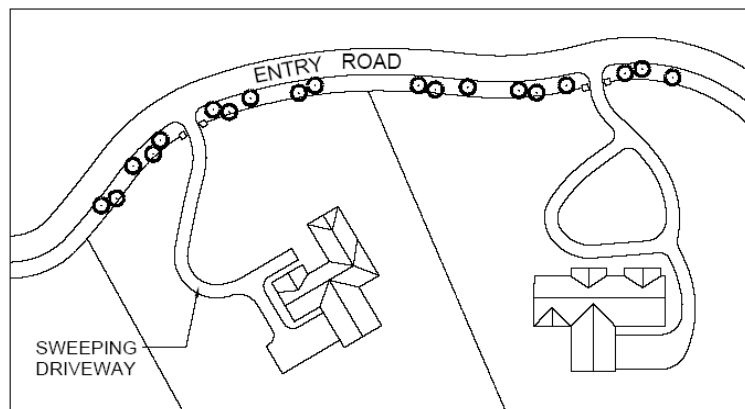
- 2.16 **Carpports.** Will not be permitted.
- 2.17 **Clothes Lines and Hangers.** Are permitted in the rear yard. Additional landscape screening may be required.
- 2.18 **Cloth or Canvas Overhangs.** See **Overhangs/Awnings- Cloth or Canvas 2.45.**
- 2.19 **Compost.** Approval is required. Compost containers must not be immediately visible to adjacent properties and odor must be controlled.
- 2.20 **Decks.** Approval is required. The deck must be constructed of redwood or a composite material. Decks must be stained a 'natural wood' color or be painted to exactly match the exterior of the residence. If the deck is elevated (3) feet above the ground, the columns or posts supporting the deck should have a minimum dimension of (8x8) eight-by-eight inches. Larger columns and stone facing is encouraged. Construction shall not occur over easements and the deck must be located within all setbacks.
- 2.21 **Dog Houses.** Approval is not required if the doghouse complies with the following: Doghouses must be located in the rear yard or a dog run. Doghouses must be installed at ground level and must not be visible above the fence. The doghouse materials must match the exterior materials on the home (wood, brick, stone, etc.) Limit of one doghouse per lot. **(See Section 2.28 – Fences)**
- 2.22 **Dog Runs.** Committee approval is required. Dog Runs must be located in the rear or side yards abutting the home or directly against the least visible side of an accessory structure. All dog runs must be substantially screened from view. Evergreen trees equal to the height of the fencing and mature shrubs must be placed around the dog run. Dog runs will be limited to 500 square feet. Rear yard fencing may not be used as a permanent dog run. **The corral, lodge pole or 6' rail-cap fence types may be utilized for dog run fencing. See Section V of the guidelines for fencing details.** Wire mesh may be attached to fencing, if necessary. The dog run fence should be sealed to prevent weathering. Tarpaulins and chain-link will not be permitted.
- 2.23 **Doors.** Approval is not required for an already existing main entrance door to a home or an accessory building if the material matches or is similar to existing doors on the house

and if the color is generally accepted as a complimentary color to that of existing doors on the house. Complimentary colors would be the body color of the house or white.

- 1) Storm Doors. Colors should be complimentary with the color scheme of the home. Complimentary colors include the body or trim color of the house or white. Homeowners wishing to utilize a different storm door or color must first obtain approval.
- 2) Security Doors and Windows. All security or security-type doors and windows must be approved prior to installation.

2.24 **Drainage.** The Declaration requires that there be no interference with the established drainage pattern over any property. The established drainage pattern means the drainage pattern as engineered and constructed by the homebuilder prior (or in some cases, immediately following) conveyance of title from the homebuilder to the individual homeowner. When installing your landscaping, it is very important to insure that water drains away from the foundation of the house and that the flow patterns prevent water from flowing under or against the house foundation, walkways, sidewalks, and driveways into the street. The Committee may require a report from a drainage engineer as part of landscaping or improvement plan approval. Landscaping should conform to the established drainage pattern. Sump pump drainage should be vented a reasonable distance from the property line, on the owners property, to allow for absorption. Adverse affects to adjacent properties will not be tolerated.

2.25 **Driveways/Parking.** Also refer to Section 2.08 and Protective Covenants Section 2.21. Curvilinear and sweeping driveways are encouraged on all lots, but they are required on custom home lots. All driveway curves must comply with the minimum turning radius requirements for the Rattlesnake Fire Department. Lining driveways with ornamental trees or shrubs is encouraged. Low wattage landscape lights may be places along driveways for accent and lighting purposes. These light fixtures should be small and conservative in design as described in Section 2.43.3. **Refer to the Driveway diagram below.**

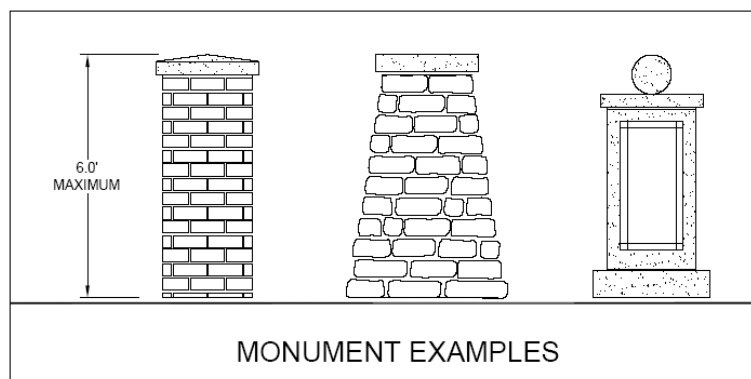


Vehicles may only be parked inside garages, barns, approved screened vehicle areas or on the driveway designated on your approved plans. Trailers, campers, RV's, boats, large trucks, or inoperable vehicles must be stored inside a garage, barn or approved screened parking area. Per Covenants Section 2.21.2, an "abandoned or inoperable vehicle" shall be defined as any automobile, truck, motorcycle, or other similar vehicle, which has not been driven under its own propulsion for a period of forty-eight (48) hours or longer.

- 2.26 **Evaporative Coolers.** Approval is required. No rooftop or window mount installations are allowed. **See Air Conditioning Equipment 2.06.**
- 2.27 **Exterior Lighting. See Lights and Lighting 2.43.**
- 2.28 **Fences/Gates. (SEE SECTION V FOR FENCE DETAILS).** There are seven approved fence types for Elkhorn Ranch:
- 5' wire fence,
 - 5' 4-rail corral fence,
 - 5' 3-rail corral fence,
 - 5' 3-rail lodge pole fence,
 - 4' 2-rail lodge pole fence,
 - 4' 3-rail lodge pole fence,
 - 6' rail-cap cedar privacy fence

Prior to installing any fence on a lot, the homeowner must first submit plans to obtain approval and must comply with the specific fence detail for the community. The Board of Directors may issue, from time to time, design guidelines, which address fencing requirements, including without limitation, approved types, heights, materials, locations, and other criteria governing fencing. Submission of a plan for a fence does not guarantee that a homeowner will obtain approval of such fence. If the fence is approved conditions may be imposed upon such approval relating to the design, location or other matters.

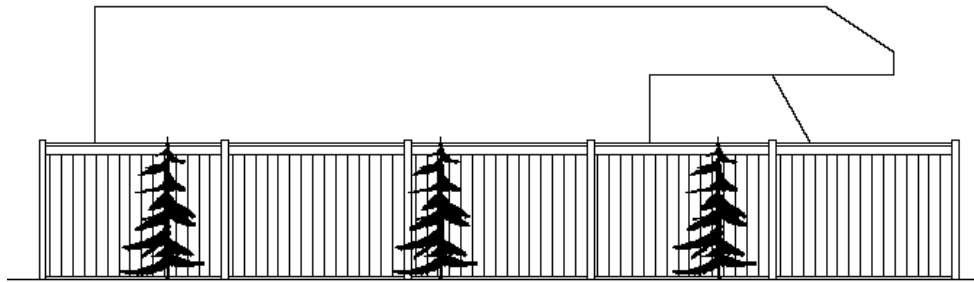
- Roadway Fencing Setbacks / Column Placement: All fences along roadways must be located at least (20) twenty feet from the edge of pavement. Lodge pole, wire fencing, and entry monuments may be used along the roadway in accordance with the setback. Stone and masonry monuments/columns can be placed on property corners, drive entries and otherwise no closer than (50) fifty feet on center. The maximum monument/column height is six feet. Decorative lights may be incorporated into the monument/column design. These lights may be higher wattage (not to exceed 60 watts) and the light fixture must match the architectural style of the house. **Examples of the approved entry monuments and masonry columns can be seen in the diagram below.**



- Perimeter Fencing: Property owners are encouraged to fence minimally. Most perimeter fences shall be the multiple, single strand high-tension wire fence or the lodge pole fence. All fencing cannot encroach beyond designated fencing boundaries or lot lines.

3. Metal Training Pens / Gates: Metal training pens for horses are permitted. They must be located in an area behind the house and the metal pen must either be black or dark green. Round metal tube gates may be used with the metal training pen and the wire fence when it is used for horses or field access. Wood gates may be used with the wire fence, wood corral fence, lodge pole fence or the rail-cap fence. All of the wood gates must match the utilized fence style. Decorative driveway entrance gates will be reviewed on a case-by-case basis. Images of the entrance gate as well as the gate location shall be submitted for review.
4. Wire Fencing: The wire fence must be constructed with multiple single strand high-tension wires. The wood fence posts must be a minimum of (5) five inches round or 6"x6" posts. The wire fence is primarily used for perimeter and livestock fencing and must comply with the (20) twenty foot roadway fence setback. **See Section V, fence details.**
5. Corral Fencing: There are two corral-fencing options. Both options have 6"x6" wood posts with either 3-rails or 4-rails. The corral fence is primarily used to enclose up to one half acre of property for a livestock corral, for dog runs or for rear yard fencing. All rear yard fencing must be attached to the rear corners of the house. Rear yard fencing may not be used as a permanent dog run. Corral fencing cannot be closer than 20' to a side property line or closer than 40' to a front or rear property line. The corral fence must conform to the approved details and be stained for weather resistance. **See Section V, fence details.**
6. Lodge Pole Fencing: There are three lodge pole fencing options: the 5' 3-rail fence, the 4' 3-rail fence, and the 4' 2-rail fence. Each option has a minimum 5" round wooden post and 3" round wooden rails. The Lodge Pole fencing is primarily used for perimeter fencing, rear yard fencing attached to the back corners of the house, dog runs and entry feature fencing. Rear yard fencing may not be used as a permanent dog run. The lodge pole fence must comply with the 20' roadway setback. **See Section V, fence details.**
7. 6' Rail-Cap Fencing/Vehicle Screening: Only one vehicle screening area will be permitted per lot. Vehicle screening areas are for the purpose of screening large vehicles, and any other items placed within the screening should not protrude above the height of the fence. Vehicle screening areas must be located adjacent to and abutting the main dwelling unit or a detached outbuilding. Screening areas may not be attached to loafing or potting sheds. The screening area may not be longer than the length of the home or outbuilding measured from the front corner to the rear corner. The width may not exceed 14-feet. If the screening area is attached to an accessory structure, it cannot exceed the footprint of the building it is attached to. Vehicle screening areas must be along one side of the building so it will only be necessary to enclose the remaining three sides. It is to be attached to the building and not placed catty-corner to the structure. Gates may be installed at either end of the fenced area for access. The fence must match the 6' rail-cap cedar privacy fence option. This fencing is permitted for the use of screening outdoor vehicles and dog runs. Additionally, a 6' tall evergreen tree (examples include: Colorado Spruce, Bristle Cone Pine, Austrian Pine, Rocky Mountain Juniper, Moonglow Juniper, Pinyon Pine) must be planted along the fence for every 15 feet of vehicle screening fencing. When determining the quantity of trees, the numbers should be rounded up based on the fence length. **See Section V, fence details. Refer to the diagram below for the screening example.**

VEHICLE SCREENING DIAGRAM



NOTES:
VEHICLE MUST BE ABUTTING A HOUSE OR GARAGE/OUTBUILDING
VEHICLE MUST BE FENCED ON REMAINING THREE SIDES WITH 6' RAIL-CAP FENCE & GATES
6' TALL COLORADO BLUE SPRUCE TREES MUST BE PLANT PER EVERY 15 FEET OF FENCING

- 2.29 **Firewood Storage. See Wood Storage.**
- 2.30 **Flagpoles.** Approval is required for the location any freestanding flagpole. Portable and permanent freestanding flagpoles are allowed. Approval is not required for flagpoles mounted to the front of the residence provided that they are temporary in nature and are only displayed in holidays or in celebration of specific events. Under no circumstance may the height of the flagpole exceed the height of the roofline of the residence. No flag shall exceed 20 square feet in surface area or 6 feet in length.
- 2.31 **Garbage Containers and Storage Areas. See Trash Containers, Enclosures and Pickup.**
- 2.32 **Gardens- Flower or Vegetable.** Approval is not required for flower or vegetable gardens. All flower gardens must be weeded, cared for and maintained. Vegetable gardens should be located in the rear or side yard and screened from view of adjacent homeowners. Any garden fencing must comply with stated fencing guidelines (see section 2.28)
- 2.33 **Gazebos.** Approval is required. A gazebo must be an integral part of the rear yard landscape plan and must not obstruct the adjacent property owner's view. A gazebo must be similar in material and design to the residence or deck and the color must be generally accepted as a complementary color to the exterior of the residence or stained to match the deck.
- 2.34 **Grading and Grade Changes. See Drainage.**
- 2.35 **Greenhouses.** Approval is required. Greenhouses must utilize high quality building materials and design in their construction. The greenhouse frame must match the body or trim color of the house. Greenhouses attached to the house must have the gable end attached. All greenhouses must have a kneewall around the base made from materials matching the masonry on the house. Un-attached greenhouses will be subject to the one accessory structure per lot requirement and be reviewed on a case-by-case basis.
- 2.36 **Hanging of Clothes. See Clotheslines and Hangers.**

- 2.37 **Hot Tubs and Jacuzzis.** Approval is required. Must be an integral part of the deck or patio area and of the rear yard landscaping. Must be installed in such a way that it is not immediately visible to adjacent property owners and that it does not create an unreasonable level of noise. In some instances, additional plant material, around the hot tub, may be required for screening. **See Gazebos.**
- 2.38 **Irrigation Systems.** Underground automatic irrigation systems will not require approval. All homes must have an underground automatic irrigation system installed with the landscape. For recommended irrigation system treatments, **See Irrigation.**
- 2.39 **Jacuzzis. See Hot Tubs and Jacuzzis.**
- 2.40 **Kennels.** Breeding or maintaining animals for a commercial purpose is prohibited. **See Dog Runs.**
- 2.41 **Landscaping.** Approval of the landscaping plan is required before proceeding. Minimum landscaping requirements must be completed no later than nine (9) months from issuance of the Certificate of Occupancy. Additional landscaping beyond minimum requirements in your plan must be complete within 24 months of plan approval. However, homeowners should not wait until the last minute to receive approval for your landscaping plans. Plans should be submitted as early as possible to avoid fines for late installations.

Landscaping shall consist of trees, shrubs, ground covers, annual and perennial flowering species, turf grasses, mulches and automatic irrigation. Certain landscape design suggestions are discussed in these Guidelines. In the landscaping of the home sites, homeowners are encouraged to utilize plant materials, irrigation systems, and maintenance practices that conserve water. Landscape materials may also be used to define space, and create visual interest. Select a variety of plant species including deciduous and evergreen trees and deciduous and evergreen shrubs.

All residential properties must meet the minimum landscape requirements listed below. These landscape improvements are to be installed as required in the Declaration of Covenants, Conditions and Restrictions. Once installed, the landscaping must be maintained in a neat, attractive, slightly, and well-kept condition.

Note the following minimum landscaping requirements:

1. Plant Material Requirements – Minimum tree sizes are 5' height for evergreens, 1.5"- 2" cal. for canopy trees, and 1"-1.5" cal. for ornamental trees.
2. Front Yard Tree Requirements – At least six trees per acre should be planted in the front yard of each lot. The front yard area shall be determined by drawing a line across the front of the house to each side lot line. The area between the front of the house and the road is considered the front yard. The front yard tree requirement **can** include the required street tree plantings. Minimum tree sizes are 5' height for evergreens, 1.5"-2" cal. for canopy trees, and 1"-1.5" cal. for ornamental trees.
3. Planting Beds/Mulch Requirements – Planting beds shall include a combination of trees, shrubs, perennials, annuals and groundcovers. Large expanses of rock or wood mulch without plant coverage are not permitted. Twenty-five percent (25%) of all rock or wood mulch areas around the home shall be covered with living

plant material at installation. Tan or beige rock mulch is allowed as well as organic wood mulch.

4. Street Tree Requirements – Each property must plant one 5' tall Ponderosa or Austrian Pine tree per 40' of road frontage. These trees should be located in the area that is between 28' to 45' behind the edge of pavement. Plantings should avoid even spacing and straight lines. **(Refer to the diagrams in Section 2.08 and 2.15)** No other species of tree will be allowed in this area. Shrubs and vines, from the “open space shrub list”, may be planted in this location.

- a. Street Tree Maintenance – The street trees should be triple staked with heavy-duty wire to minimize displacement in the wind. These trees need to be watered for a minimum of 2 years. The HOA will periodically check for dead street trees and provide written notification to the homeowner for replacement of any dead street trees. Compliance with tree replacement standards must be completed within the designated time frame listed on the notification.

5. Native / Dryland Seed – The remainder or disturbed areas of the lot, if not landscaped as set forth above, must be re-vegetated with a drought tolerant seed mixture.

6. The following are recommended:

- Turf Requirements – It is recommended that at least 1,000 SF of irrigated turf grass be included in the front yard. Additionally, multiple shrubs and perennials should be naturally incorporated into the landscape design. The backyard should include grasses and other natural erosion control materials.

- Driveway Trees – Homeowners are encouraged, not required, to plant ornamental trees and shrubs along their driveways. However ornamental trees must be located at least 45' behind the street as not to enter into the required street tree area. **(Refer to the diagram in Section 2.08)**

2.42 **Latticework.** Approval is required for any type of trellis or latticework.

2.43 **Lights and Lighting.** Approval is not required for low wattage exterior landscape lighting if it is installed in accordance with the following guidelines: Exterior low wattage landscape lights must be conservative in design and no higher than 24". Exterior lighting should be directed toward the ground and be of low wattage to minimize glare. The use of motion detector spotlights, high wattage spotlights or flood lights, and ballasted fixtures (sodium, mercury, multi-vapor, fluorescent, metal halide, etc.) require approval. **(Refer to the additional lighting requirements below). For holiday lighting, see Seasonal Decorations.**

1. House Lighting: Each house will be allowed one shielded porch light, two lights per garage door, and one rear entry light. No light may be higher than 12' from the ground. No light may have an electric eye or be permanently left on. Lights that are activated by darkness at night and turn off at dawn are permitted. Each light fixture cannot exceed 60 watts.
2. Accessory Structure/Yard Lighting: Each property may have in addition to the house lighting, one top shielded yard, garage, or accessory structure light. No light may be higher than 12' from the ground. No light may have an electric eye

or be permanently left on. Lights that are activated by darkness at night and turn off at dawn are permitted. These lights cannot exceed 60 watts.

3. Driveway/Entry Feature: Driveways may be lit with low wattage landscape lights placed along the driveway. The light fixture design and style cannot exceed twenty-four (24) inches. Entry monuments may utilize higher wattage lights (not to exceed 60 watts) on the top of each monument. These light fixtures must match the architectural style of the house.

12.43.5. **Mail Stations.** Existing mail stations are the responsibility of the homeowners whose addresses are located at that particular station. The mail station must be maintained or built according to the following detail. Specifications include 6"x6" cedar posts, cross drilled at the base to facilitate breakaway, with 2"x6" cedar horizontal rails. The numbers used on the mail boxes to identify the address must be 1" tall and white in color. Existing US Mail stations are not permitted to be relocated, unless the local US postmaster approves an alternate location in writing. Repair to damaged mail stations should be divided among the homeowners whose boxes are held within that mail station.



US Mailboxes – Existing US Mailboxes are the responsibility of the homeowner and must be maintained or replaced according to the following. To keep a uniform look, all mailboxes should be the standard black classic mailbox with white reflective numbers on the door. A locking mailbox of similar design, color and dimensions can also be used.



2.44 **Microwave Dishes/Satellite. See Antennae.**

2.45 **Overhangs/Awnings- Cloth or Canvas.** Approval is required. An overhang should be an integral part of the house or patio design. The color must be the same as, or generally recognized as, a complementary color to the exterior of the residence. Must provide swatch of material to be used. **See also, Patio Covers.**

2.46 **Painting.** Approval is not required if color and/or color combinations are identical to the original color established on the home. Any changes to the color scheme or color changes must be submitted for approval and must conform to the general scheme of the community.

All colors must be submitted for approval. Houses should be painted in a variety of subtle, muted colors to provide individuality and distinction. Bright accent or trim colors may not cover more than 10% of any elevation. Adjacent houses may not be painted the same colors. The homeowners that apply paint first to their home receive precedent over neighboring home paint colors, regardless of the paint color approval date.

2.47 **Patio Covers.** Approval is required. Patio covers must be constructed of material consistent with the home and be similar or generally recognized as complementary in color to the colors on the house. Freestanding patio covers may be permitted as well as extensions of the roof.

2.48 **Patios-Enclosed. See Additions and Expansions.**

2.49 **Patios-Open.** Approval is required. Open patios must be an integral part of the landscape plan and are encouraged to be located in the rear of the home. In some instances, additional plant material, around the patio, may be required for screening. The patio and materials must be similar or generally accepted as a complementary color and design to the residence.

2.50 **Paving.** Approval is required, for all walks, patio areas, or other purposes and for all materials used, including concrete, brick, flagstones, stepping stones, pre-cast patterned or exposed aggregate concrete pavers. **See Driveways.**

2.51 **Pipes. See Utility Equipment.**

2.52 **Play Structures, Sports Equipment and Courts.** Approval is required. Timber structures are the only permitted play structure type. All structures, equipment, and courts must be located in the rear yard. Consideration will be given to adjacent properties so as not to create an undue disturbance. In some instances, additional plant material, around the equipment, may be required for screening. Wood structures should be constructed of pressure treated or other weather resistant materials. All play and sports equipment must be maintained in a good and sightly manner.

2.53 **Playhouses.** Committee approval is required if a structure is more than 24 square feet and/or over six feet high. **(See Section 2.64 a).**

2.54 **Poles. See Flagpoles and Utility Equipment.**

2.55 **Pools.** Approval is required. Pools must be placed in the rear yard and be an integral part of the deck or patio area. They should be located in such a way that they are not immediately visible to adjacent property owners (i.e. screened with plant material). Above ground pools are prohibited. **See Hot Tubs and Jacuzzis.**

2.56 **Radio Antennae. See Antennae.**

- 2.57 **Rooftop Equipment.** Approval is required.
- 2.58 **Roofing Materials.** Approval is required. All buildings constructed on the properties should be roofed with the same or greater quality than originally used by the Declarant or participating builder. Other materials require prior approval. Repairs to an existing roof with the same building material that exist on the home, do not require prior approval.
- 2.59 **Satellite Dishes. See antennae.**
- 2.60 **Saunas. See Accessory Buildings.**
- 2.61 **Screen Doors. See Doors.**
- 2.62 **Seasonal Decorations.** Approval is not required if installed on a lot provided that one is keeping with the Community standards and that the decorations are removed within thirty (30) days of the holiday. The installation of seasonal decorations on any property owned and/or managed by the Association must first have written consent of the Association. Consideration for consent will be based upon, but not limited to the distance of where the seasonal decorations are being considered to be installed in relationship to the owners lot, potential access concerns and making sure the seasonal decorations keep with the Community standards.
- 2.63 **Sewage Disposal Systems.** Will not be permitted.
- 2.64 **Sheds.** Will not be permitted. **See Accessory Structure, Section 2.02.**
- a) **Potting Sheds / Play House** – Approval is required. One potting shed or one play house is permitted per lot. The structure will follow the guidelines for wooden accessory structures (2.02 Accessory Structures) and match any other accessory buildings currently standing. The maximum size of the structure may not exceed 60 SF with a standard 36” wide pedestrian door to access the structure. All potting sheds and play houses will abide by the same accessory building requirements regarding orientation and location. They must be placed in the rear of side yard and should be adjacent to an existing garden. They may not exceed a height of 10-feet.
- 2.65 **Exterior Shutters.** Approval is required. Shutters should be of a similar material and of a color and design generally accepted as complementary to the exterior of the house.
- 2.66 **Siding.** Approval is required.
- 2.67 **Signs.** Approval is required for most signs. Temporary signs advertising property for sale or lease which are no more than four (4) feet in height and no more than two (2) feet by three (3) feet in dimension, and which are conservative in color and style may be installed on the front yard of the lot of the property for sale or lease only, without approval provided there is no more than one per lot. All other signs, including address numbers and nameplate signs must be approved. No lighted sign will be permitted unless utilized by the Developer and/or a Builder. One political sign per household may be placed in the front yard of the lot during elections. All political signs must be removed within 48 hours of said election. No signs may be placed on any common or limited common property without the written consent of the Association.
- 2.68 **Skylights.** Approval is required. Bubble type skylights will be prohibited.

- 2.69 **Solar Energy Devices.** Approval is required. See Rooftop Equipment.
- 2.70 **Spas. See Hot Tubs and Jacuzzis.**
- 2.71 **Sprinkler Systems. See Irrigation Systems and Irrigation.**
- 2.72 **Statues, Fountains, Yard Ornaments.** Approval is not required if they are installed in the rear yard and are a height not greater than five (5) feet, including any pedestal. If the statue, fountain or yard ornament is proposed for the front or side yard, approval is required. The statue, fountain or yard ornament location should be close to the front or main entrance of the house.
- 2.73 **Storage Sheds.** Will not be permitted.
- 2.74 **Sunshades. See Overhangs/Awnings- Cloth or Canvas and Patio Covers.**
- 2.75 **Swamp Coolers. See Air Conditioning Equipment and Evaporative Coolers and Rooftop Equipment.**
- 2.76 **Swing Sets. See Play and Sports Equipment. See section 2.52**
- 2.77 **Television Antennae. See Antennae.**
- 2.78 **Temporary Structures.** The Declaration states that no structure of a temporary character, including, but not limited to, a house trailer, tent, shack, storage shed, or outbuilding shall be placed or erected upon any lot. However, during the actual construction, alteration, repair or remodeling of a structure or other improvements, necessary temporary structures for storage of materials may be erected and maintained by the Declarant or a Person doing such work. The work of constructing, altering, or remodeling any structure or other Improvements shall be prosecuted diligently from the commencement thereof until the completion thereof. Permanent sheds are not permitted.
- 2.79 **Trash Containers, Enclosures and Pickup.** Approval is required for any trash or garbage enclosure. Refuse, garbage, trash, lumber, grass, shrub or tree clippings, plant waste, compost, metal, bulk materials, scrap, refuse or debris of any kind may not be kept, stored or allowed to accumulate on any lot except in sanitary containers or approved enclosures. No garbage or trash cans or receptacles shall be maintained in an exposed or unsightly manner (except that a container for such materials may be placed outside at such times as may be necessary to permit garbage or trash pickup.) Trash may be placed on the street at dusk the day before pick-up. Trash containers must be utilized to hold trash and avoid disruption by animals and weather. Trash containers must be properly stored the evening of pickup. **See Compost.**
- 2.80 **Tree Houses.** Will not be permitted.
- 2.81 **Underground Installations.** Approval is required.
- 2.82 **Utility Equipment.** Installation of utilities or utility equipment, including stand-by generators, requires approval. Generators will be reviewed on a case-by-case basis. They must be screened from view with approved plant materials or a screen wall constructed from materials matching the house. Under the Declaration, pipes, wires, poles, utility facilities must be kept and maintained, to the extent reasonably possible, underground or within an enclosed structure.

- 2.83 **Vanes. See Weather Vanes and Directional.**
- 2.84 **Vents. See Rooftop Equipment and Air Conditioning Equipment.**
- 2.85 **Walls. See Fences.**
- 2.86 **Walls-Retaining.** Approval is required. Wall materials should match or compliment the color and materials on the house. Walls higher than 4-feet may require approval from a structural engineer. Retaining walls cannot alter the established drainage pattern of the lot. **See Retaining Walls 4.05.**
- 2.87 **Weather Vanes and Wind Generators.** Approval is required. Only one generator per home is allowed. Wind generators will be reviewed on a case-by-case basis. Wind Generators must be located in the rear or side yard where least visible to adjoining properties and the street. Placement of Wind Generators should take into consideration as not to present an obstruction of natural views from adjacent lots. Wind Generators must be maintained according to manufacturer's requirements to minimize noise and maintain the exterior appearance of the unit and appropriately counteract weathering. If not properly maintained the HOA may require removal at the homeowner's expense.
- 2.88 **Wood Storage.** Wood storage is not permitted with the exception of small amounts of firewood. The firewood pile cannot exceed 4'x4'x2' in size.
- 2.89 **Work Involving Common Areas.** Generally, driving vehicles across Common Area is not permitted. However, when circumstances warrant, the Board of Directors will consider requests provided that prior approval is obtained and the homeowner advances funds as may be reasonably required by the Board of Directors to repair any damage. The actual restoration of the Common Area will be done by the Association.

3. PROCEDURES FOR COMMITTEE APPROVAL.

- 3.01 **General.** As indicated in the listing of specific types of improvements, there are some cases in which advance written approval is not required. This is applicable only if the guidelines with respect to that specific type of improvement are followed. **In all other cases, including improvements not included in the listing, advance or prior written approval is required before any “Improvement to Property” is commenced.** This section of the Guidelines explains how such approval can be obtained.
- 3.02 **Drawings or Plans.** Homeowners are required to submit complete plans and specifications prior to commencement of any work on any improvement (said plans and specification to show exterior design, height, materials, color, location of the structure or addition to the structure, plotted horizontally and vertically, location and size of driveways, general plan of landscaping, fencing, walls, windbreaks and grading plan, as well as such other materials and information as may be required). In most cases, the materials submitted do not have to be professionally prepared by an architect. A landscape architect or draftsman and a simple drawing and description will be sufficient. In the case of major improvements, such as room additions, structural changes, or accessory building construction, detailed plans and specifications, prepared by a licensed architect, may be required. Whether done by you or professionally, the following guidelines should be followed in preparing drawings or plans.
1. In some instances, elevation drawings of the proposed improvement are required. The elevation drawings should indicate materials. The drawing or plan should be drawn to scale and should depict the property lines of your lot, all recorded easements and the outside boundary lines of the home as located on the lot. If you have a copy of an improvement location certificate (survey) of your lot obtained when you purchased it, this survey would be an excellent base from which to draw.
 2. Existing improvements, in addition to your home, should be shown on the drawing or plan and identified or labeled. Such existing improvements include driveways, fencing, walks, decks, trees, bushes, etc.
 3. The proposed improvements should be shown on the plan and labeled. Either on the plan or on an attachment, there should be a brief description of the proposed improvement, including the materials to be used and the colors. (Example: Redwood deck, 10 feet by 12 feet with 2 inch by 4 inch decking. Natural stain.)
 4. The plan or drawing and other materials should show the name of the homeowner, the address of the home and a telephone number where the homeowner can be reached.
 5. The proposed improvements must take into consideration the easements, building location restrictions and sight distance at intersections.
 6. Homeowners should be aware that many improvements require a permit from the Elbert County Building Department. The Board of Directors reserves the right to require a copy of such permit as a condition of its approval.
 7. For accessory structure submittals, homeowners must submit a copy of the recorded plot plan for their lot. Plot plans can be obtained from Elbert County at no cost. All no build zones must be illustrated on the plan. Plan submittals

that do not include a copy of the recorded plot plan will be returned without being reviewed

- 3.03 **Submittal Requirements.** Once a landscape plan has been developed, three copies of an 18" x 24" (minimum acceptable size 11" x 17") plan shall be submitted to the property management company. **Plans not submitted in this format will be rejected.** The plan must contain the following information:
1. Project Approval Request Form (Appendix A)
 2. Lot, Block, Filing Number and Owner's name, address, and telephone number.
 3. Designer's name, address, and telephone number (if applicable).
 4. Scale of 1 inch = 10 feet and north arrow.
 5. All existing conditions including house, walks, driveways, patios, decks, walls, plants, trees, drainage ways, property lines, and any easements.
 6. All proposed landscape planting improvements and landscape features such as walls, patios, structures, hot tubs, gazebos, water features, shrubs, trees, perennial and annual beds.
- 3.04 **Review Fee.** The Declaration authorizes the ARC to collect a fee for reviewing the plans of proposed improvements. Review fee checks may be made payable to the homeowners association. No plans will be reviewed prior to receipt of the fee, by the Management Company. The Board of Directors reserves the right to charge additional fees to cover the cost of any engineering consulting, administration or other fees reasonably incurred by the Association in reviewing any proposed improvement.
- Current fee schedule:
- \$150 Custom Home Architecture
 - \$100 Outbuildings
 - \$100 Original Lot Landscaping
 - \$25 Variance Request
 - \$15 Single Item Review (examples: patio, play structure, water feature, etc.)
- 3.05 **Action by Board of Directors/Architectural Review Committee.** The Board of Directors or its designated representative will review all plans submitted for approval. The Board of Directors/Architectural Review Committee may require submission of additional material and may postpone action until all required materials have been submitted. The Committee will contact you if the Committee feels additional materials are necessary or if it needs additional information or has any suggestions for change.
- 3.06 **Prosecution of Work.** A proposed improvement to property should be accomplished as promptly and diligently as possible in accordance with the approved plans and description. The work must be completed, in any event, within a period not to exceed two years. The Board of Directors reserves the right to inspect the work and the right to file a notice of noncompliance where warranted.
- 3.07 **Rights of Appeal/Variance Request.** A homeowner may appeal to the Board of Directors in the event of adverse action by the designated representative provided such appeals are submitted within thirty days after the applicant received notice of such adverse action. Any variance request should be submitted in writing with an explanation for the request. All variance requests will be forwarded to the Architectural Review Committee for review.
- 3.08 **Questions.** If you have any questions about the foregoing procedures, feel free to contact the property management company at the phone number and address listed in the introductory part of these guidelines.

4. LANDSCAPING SUGGESTIONS.

- 4.01 **General.** The purpose of this section of the Guidelines is to help you prepare an appropriate landscaping plan for your home site. Careful landscape planning and design of your site will greatly enhance the ultimate appearance of the community. The information set forth in this section is suggestive only and not mandatory.
- 4.02 **Slopes.** In some cases, there may be relatively steep slopes on an owner's property. It is important to note that if slopes are not landscaped severe erosion and silting may occur. Therefore, it is recommended that the homeowner landscape slopes as soon as possible after moving in. Slopes and banks should be planted with drought tolerant plants. Terracing, or surfacing with stone or other free draining materials can lessen erosion of slopes. Loose aggregate or wood chips are not recommended on slopes unless measures are taken to prevent erosion or displacement by wind and/or water. Slopes can also be seeded with ground covers, shrubs, and bushes to prevent erosion. Rock gardens are another technique to help prevent slope erosion and create a landscape amenity. Slopes given proper design treatment can become an attractive, interesting part of the landscape.
- 4.03 **Soils/Drainage/Grading.** Your home may be constructed on "expansive soils". The prime characteristic of expansive soils is that they swell when water is introduced. The soil, in essence, acts as a sponge. When this expansion takes place, extreme pressures are exerted on foundations and other man-made structures, which are placed in the ground. The result can be severe structural damage to your home.

It is our intent to remind you that a potential hazard exists when proper drainage is not maintained and/or when water is introduced to these "expansive soils" adjacent to your foundation.

Residents should investigate the existing drainage conditions and preserve and accommodate the drainage situation, which exists on their particular site at the time they purchased their home from the builder or other previous homeowner. See guidelines under "Drainage" in the listings of specific types of improvements. Minor drainage modifications may be made to your lot providing you do not alter the engineered drainage pattern of the lot existing at the time the lot was conveyed to you from the builder or the previous homeowner. Grading can be used to create berm, slopes and swales which can define space, screen undesirable views, noise and high winds. It is suggested that berm slopes not exceed 3 feet of horizontal distance to 1 foot of rise or vertical height (3 to 1 slopes) in order to permit greater ease of mowing and general maintenance.

- 4.04 **Soil Preparation.** Soil conditions may vary throughout the project. Individual soil testing is suggested for each lot to determine the exact nature of the soil and the desired level of amendment needed such as mulch, sand and fertilizer to optimize plant growth. Local nurseries may offer assistance in determining the proper quantity and type of soil amendment. A general guide for amendment of all turf area soils is a minimum of three (3) cubic yards per one thousand (1,000) square feet, and ten (10) pounds per one thousand (1,000) square feet of lawn area. These materials are to be tilled to a depth of six (6) to eight (8) inches into the soil. Acceptable organic matters include aged compost, wood humus from soft/non-toxic trees, sphagnum moss (excluding that from Colorado origin), or aged/treated manure's. Topsoil is not considered an acceptable organic matter.

- 4.05 **Retaining Walls.** New or old creosote treated timber railroad ties are prohibited. Retaining walls may be used to accommodate or create abrupt changes in grade. Such walls should be properly anchored to withstand overturning forces. Stonewalls should be made thicker at the bottom than at the top to achieve stability. To avoid destructive freeze-thaw action, all retaining walls should incorporate weep holes into the wall design to permit water trapped behind them to be released. Walls should **not** be located so as to alter the existing drainage patterns, and should provide for adequate drainage over or through (by means of weep holes) the wall structure.
- 4.06 **Climate.** Typical climatic conditions of this area include low precipitation, low average humidity, variable winds, and a fairly wide temperature range.
- 4.07 **Screening Views and Directing Winds.** Plant materials can frame pleasant vistas such as views of the mountains. Less desirable views of adjacent land (e.g. highways) can be screened with dense coniferous plantings, earth mounds, fences or walls. High velocity winds can be effectively directed by dense planting. Care should be taken, however, to respect and preserve views of adjacent lots.
- 4.08 **Rockscapes.** Boulders and cobbles present an attractive alternative landscape element if used sensitively within the overall landscape composition. Large expanses of rock mulch without substantial shrub or groundcover plantings are unacceptable. Stone or gravel mulch with harsh, unnatural or high contrast colors shall be prohibited, including the use of black granite, white marble and lava rock.
- 4.09 **Irrigation.** The semi-arid climate makes watering necessary. It is recommended that watering be done in the early morning or evening. One of the most common tendencies is to oversaturate your lot. We urge each homeowner to conserve water and as a result minimize problems on their own lots as well as on adjacent property owner's lots caused by over-watering. This can be accomplished by watering at shorter cycles more often during the course of the day.

The following are some facts to consider in selecting the type and location of the sprinkler system you are going to use: A) Size and shape of areas to be watered. B) Type of turf or ground cover. C) Available water supplies and pressure. D) Environment of the area-wind, rain, temperature, exposure, and grades. E) Low spraying irrigation devices may help to minimize wasted water due to wind. F) Installation of an irrigation system directly adjacent to front sidewalks may eventually cause undermining and deterioration to concrete and paved areas. G) Type of soil and its ability to accept water. Local nurseries or do-it-yourself sprinkler stores have detailed information concerning the type and installation of irrigation systems. H) Drip irrigation systems are recommended for tree and shrub areas.

- 4.10 **Paved Areas.** Paving may be used to define areas of intense activity and circulation patterns, such as patios, walks, and steps. Materials that can be used to create attractive patterns and textures are brick, flagstones, stepping-stones, pre-cast patterned or exposed aggregate concrete paver. These materials are often more desirable than asphalt or poured concrete. It is suggested that paving materials be earth tones colors. Sufficient slope should be maintained in all paved areas to insure proper drainage. Asphalt is not permitted.
- 4.11 **Shade.** Shade trees should be placed relatively close to the house where they can shade walls or outdoor activity areas. Avoid shading a solar collector, or inhibiting the effectiveness of passive solar design measures. For example, broad-leaved deciduous trees screen out the intense summer sun, but allow winter warmth to penetrate. Trees

and shrubs in general should not be planted within existing drainage swales so as to block designated drainage patterns.

4.12 **Landscape Materials.** Deciduous trees, such as cottonwood, and evergreen trees, such as pinion pines, provide summer shade or can be used as a windbreak. Evergreens provide good backdrops for displaying ornamental trees and contrasting flowers as well as providing a visual screen.

- Shrubs such as junipers may be used as specimens or in masses. Shrubs can also be used in combination with trees as windbreaks or to add color and texture to the landscape. Low growing, spreading shrubs may be used as groundcover treatment and present an attractive method of reducing water consumption.
- Ornamental trees such as flowering crabapples provide accent, color, and additional interest to the residential landscape and may be a more appropriate scale for small areas of a lot.
- Groundcovers such as creeping mahonia play an important role in consolidating the surface of fine-grained soils to prevent erosion and sedimentation. They may be useful in place of a lawn, especially on steep banks where they will also require less water than turfgrass.
- Vines may be used as a groundcover or as a shading element over a trellis or as a screen when planted adjacent to a fence.
- Garden flowers may be used as elements of seasonal color. Perennials and annuals should be considered.
- Vegetable gardens may be integrated with planting beds and used ornamentally.

4.13 **Mulches.** Mulches modify the extremes of soil temperature and improve soil by producing humus, and reducing evaporation loss. Suggested minimum depth for mulches is three inches. Mulches are typically used in shrubs and groundcover beds and may consist of a variety of organic materials such as ground bark, wood chips, pole peelings or chipper chips. Natural wood mulch has environmental advantages to plant material and its use is strongly encouraged.

4.14 **Landscape Maintenance.** Good consistent maintenance is essential for healthy plant materials. The following are some suggested maintenance considerations and ways of minimizing maintenance problems: A) Plant with regard to climate. Consider ultimate size, shape, and growth rate of species. B) Locate plants and irrigation heads out of the way of pedestrian-bicycle traffic and car bumpers. C) Provide simple guying systems for trees for a minimum of two years and wrap trees most susceptible to sun scald with burlap or paper during fall or winter months. D) Make provisions for efficient irrigation; drain and service sprinkler systems on regular basis and conduct operational checks on a weekly basis to insure proper performance of the system. E) Provide good soil mixes with sufficient organic material, 30% per tilled depth is desirable. F) Use mulch at least three inches deep to hold soil moisture and to help prevent weeds and soil compaction. G) Provide required fertilization, weed and pest controls etc., as required for optimum plant growth. H) Prune woody plants when needed. Never prune more than 1/3 of foliage. I) Space groves of trees or single trees to allow for efficient mowing. J) Locate plants with similar water, sun and space requirements together.

4.15 **Suggested Plant List.** For your convenience, the following list of shrubs, trees, flowers and grasses is provided:

Deciduous Trees

Autumn Blaze Maple
Autumn Purple Ash
Burr Oak
Canada Red Cherry
Downy Hawthorn
Ginnala Maple
Hackberry
Kentucky Coffeetree
Lanceleaf Cottonwood
Linden, American, or Littleleaf
Marshall Seedless Ash
Narrowleaf Cottonwood
Patmore Ash
Rocky Mountain Maple
Shademaster Honey Locust
Thornless Cockspur Hawthorne
Western Catalpa

Evergreen Trees

Bristlecone Pine
Colorado Spruce
Ponderosa Pine
Pinon Pine
Austrian Pine

Grasses

Big Bluestem
Blue Grama Grass
Buffalo Grass
Feather Reed Grass
Fountain Grass
Prairie Cord Grass
Fescue

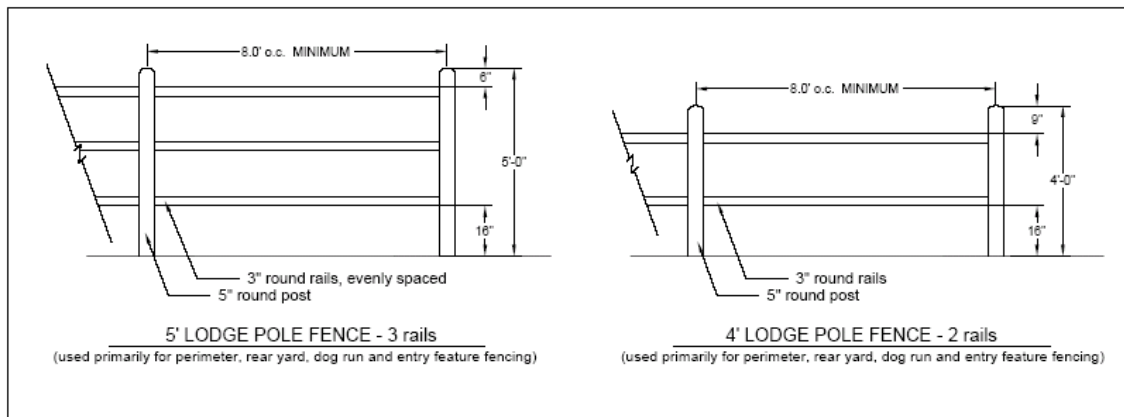
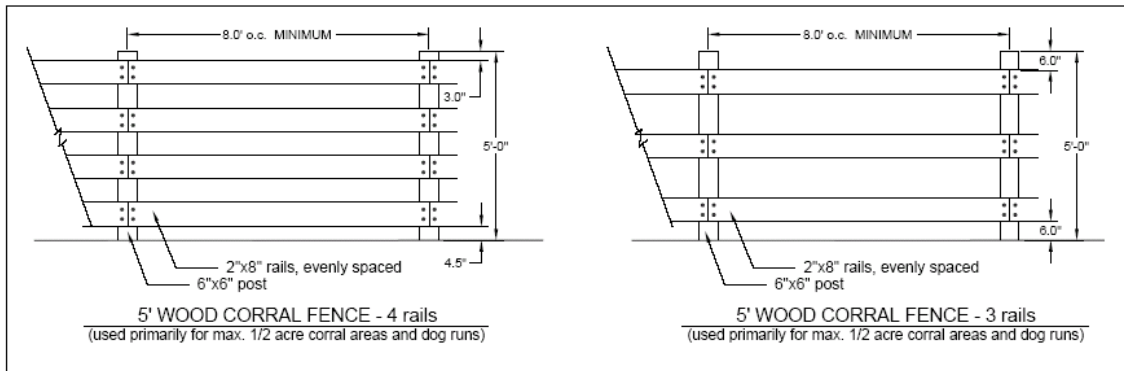
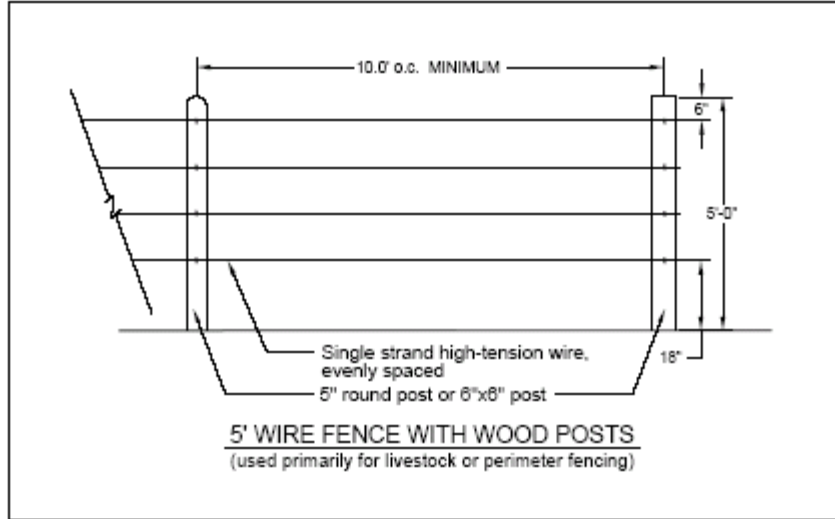
Shrubs

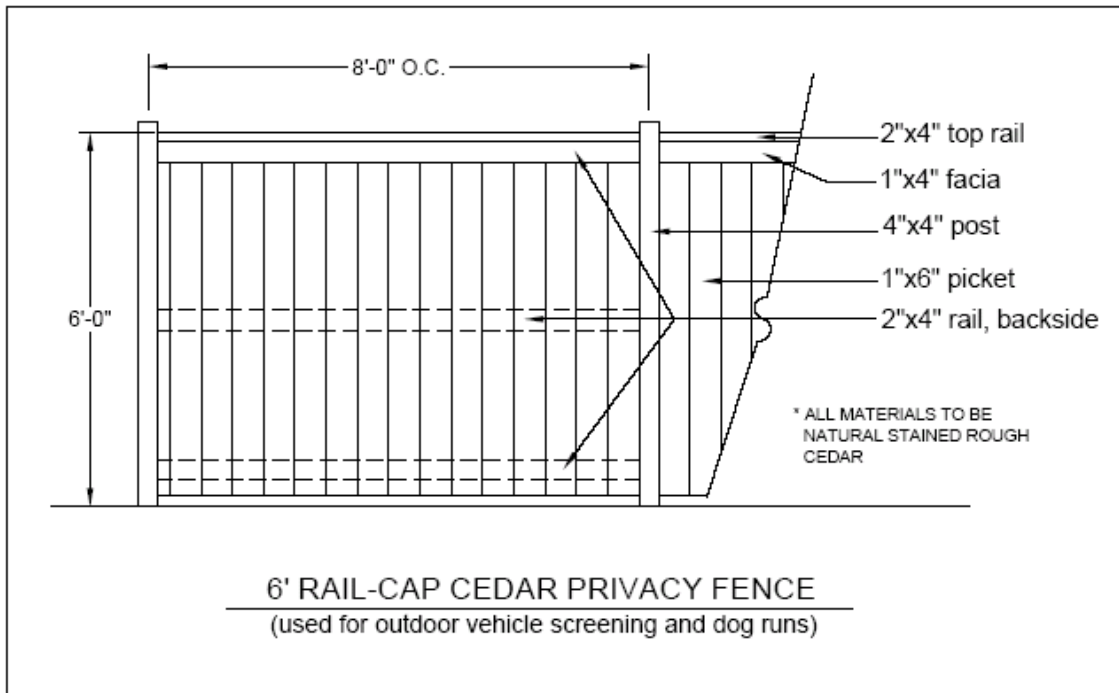
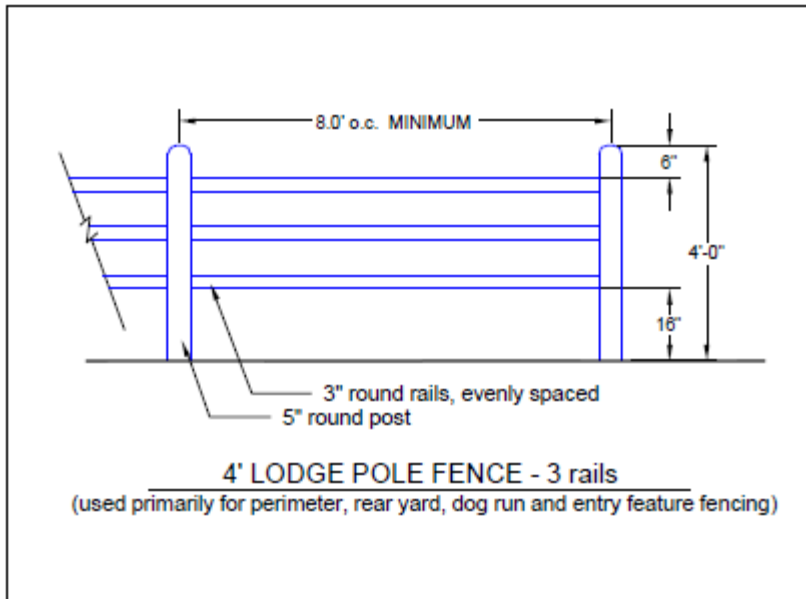
American Plum
Russet Buffaloberry
Blue Chip Juniper
Bar Harbor Juniper
Broadmoor Juniper
Buffalo Juniper
Blue Mist Spirea
Boulder Raspberry
Blue Stern Willow
Indian Grass
Little Bluestem

Shrubs (Con't)

Compact American Cranberry
Chokeberry
Curl-Leaf Mountain Mahogany
Creeping Mahonia
Hughes Juniper
Whitestem Gooseberry
Golden Currant
Gambel Oak
Isanti Dogwood
Kelsey's Dogwood
Great Plains Leadplant
Mountain Box
Mountain Ninebark
Mugho Pine
Native Potentilla
Red Coralberry
Red-Twig Dogwood
Rock Spirea
Russian Sage
Saskatoon Serviceberry
Tall Blue Rabbitbrush
Tall Western Sagebrush
Sagebrush
Threeleaf Sumac
Tam Juniper
Waxflower
Maiden Grass

SECTION V FENCE DETAILS





ARCHITECTURAL REVIEW APPLICATION

Elkhorn Ranch Homeowners Association

c/o PCMS

7208 S. Tucson Way, Suite 125

Centennial, CO 80112

303-224-0004//303-224-0002 (fax)

designreview@pcms.net

For official use only:

Homeowner Name: _____

Checked In: _____

Emailed: _____

Lot#/Address: _____

Fee Schedule (Must be paid via check made payable to Elkhorn Ranch HOA):

- Custom Builders - \$150.00 per each residence application
- Re-submittal Fee - \$25.00
- Landscape Review Fee - \$100.00 per each residence application (Includes all rounds of review)
- Other Structures Review Fee - \$100.00 per each residence application (Includes all rounds of review)
- Single Item Review Fee- \$15

For landscapes that propose to alter the existing grading (i.e. retaining walls, patios, etc.) The proposed site grading shall conform to the established drainage pattern of the lot. Minor drainage modifications may be made to your lot providing that you do not alter the engineered drainage pattern of the lot existing at the time the lot was conveyed to you from the builder or the previous homeowner. (Refer to Sections 2.21 and 4.03)

The use of landscaping materials that potentially deposit silts and dusts, fertilizers - natural or chemical, paints, oils, automobile leaks, or trash are not to be deposited for any extended amount of time on your lawn. This includes immediately next to or on your driveway, sidewalk, or street in front of your home, where those materials could runoff and flow down the stormwater gutter. If the deposit of these materials must take place, the proper erosion controls shall be in place to preclude runoff. The storm water program through out the United States arises from the Clean Water Act of 1972 and regulations established by the U.S. Environmental Protection Agency. These requirements may be implemented and enhanced through State and local regulations and State issued permits, but they are federally enforceable, as they are required under federal law. (Refer to design guideline addendum for examples of erosion control techniques and penalties for non-compliance).

HOMEOWNER INFORMATION

Name: _____ Phone: _____

Address: _____

Email: _____

APPLICANT INFORMATION (IF DIFFERENT)

Name: _____ Phone: _____

Firm: _____

Address: _____

Email: _____

Brief Project Description:

Owner or Applicant Signature _____ Date _____